

## JOINT REGIONAL PLANNING PANEL (Sydney West Region)

<b>JRPP No</b>	2014SYW052
<b>DA Number</b>	DA 1194/2014/JP
<b>Local Government Area</b>	THE HILLS SHIRE COUNCIL
<b>Proposed Development</b>	AN INTEGRATED HOUSING DEVELOPMENT COMPRISING 153 DWELLINGS AND COMMUNITY TITLE SUBDIVISION
<b>Street Address</b>	LOT 48 DP 280036 CADDIES BOULEVARD, ROUSE HILL
<b>Applicant/Owner</b>	LEND LEASE GPT ROUSE HILL PTY LTD
<b>Number of Submissions</b>	One
<b>Regional Development Criteria (Schedule 4A of the Act)</b>	Capital Investment value exceeding \$20 Million
<b>List of All Relevant s79C(1)(a) Matters</b>	<ul style="list-style-type: none"> <li>• LEP 2012</li> <li>• DCP Part D Section 6 – Rouse Hill Regional Centre</li> <li>• SEPP 32 – Urban Consolidation (Redevelopment of Urban Land)</li> <li>• SREP 20 – Hawkesbury Nepean River</li> </ul>
<b>List all documents submitted with this report for the panel's consideration</b>	Nil
<b>Recommendation</b>	Approval subject to conditions
<b>Report by</b>	Kristine McKenzie Principal Executive Planner

### EXECUTIVE SUMMARY

The proposal is for the erection of 153 detached dwellings and associated Community Title subdivision and associated Community Title subdivision. The dwellings all have 3 bedrooms and comprise a variety of external designs and finishes.

The proposal includes a variation to the minimum 240m<sup>2</sup> lot size for integrated housing development under LEP 2012. The proposed lots the subject of the variation range from 181.1m<sup>2</sup> to 239.2m<sup>2</sup>, being a maximum variation of 24.6%. Small lot housing was always envisaged in the planning of the Rouse Hill Release Area and the concept pre-dates the minimum lot size provisions of LEP 2012. Overall, Lend Lease have advised that integrated housing will form approximately 19% of the housing yield within the Regional Centre. The development site is close to the Town Centre, schools, community and open space. Integrated housing delivered to date has been of a good quality and readily accepted by the market.

The proposal also includes variations to DCP Part D Section 6 – Rouse Hill Regional Centre in regard to height, front articulation zone, corner articulation zone, non-provision of a blade privacy wall, side setbacks and solar access. The proposed variations are considered satisfactory as they will not result in an adverse impact to the streetscape. The use of an integrated scheme also allows a known built form outcome for adjoining dwellings.

The proposed development is similar in style to a number of existing developments constructed within the Rouse Hill Regional Centre and the subject site is a discrete site separated by public roads and open space from adjoining existing or future residential development.

The proposal was advertised and notified to adjoining property owners. There was one submission received to the proposal which raised concern regarding traffic and vehicle safety at the intersection of Caddies Boulevard and Sanctuary Drive. The traffic volume generated by the proposal is satisfactory and will not adversely impact on local roads, is in keeping with the outcomes expected from the approved Masterplan and will not adversely impact on intersections.

The Development Application is recommended for approval subject to conditions.

In the absence of the JRPP process, this matter would be determined by Council due to the variation to LEP lot size standard exceeding 10%.

#### BACKGROUND

#### MANDATORY REQUIREMENTS

Owner:	Minister administering the EP and A Act	1.	<u>LEP 2012</u> – Permissible with consent. Variation to lot size which requires use of Clause 4.6.
Zoning:	Part R3 Medium Density Residential, R4 High Density Residential and B4 Mixed Use	2.	<u>DCP Part D Section 6 – Rouse Hill Regional Centre</u> – Variations required, see report.
Area:	3.47 hectares	3.	<u>Section 79C (EP&amp;A Act)</u> – Satisfactory.
Existing Development:	Vacant land	4.	<u>Section 94 Contribution</u> – N/A however a Planning Agreement applies to the site.

#### SUBMISSIONS

#### REASON FOR REFERRAL TO JRPP

1. Exhibition:	Yes, 14 days.	1.	Capital Investment Value in excess of \$20 million pursuant to SEPP (Major Development) 2005.
2. Notice Adj Owners:	Yes, 14 days.		
3. Number Advised:	23		
4. Submissions Received:	One		

#### HISTORY

**10/01/2013** Development Application 1210/2011/HB approved for the revised Central Precinct Plan at Council's Delegated Authority Meeting.

- 24/01/2013** Subdivision Development Application 250/2013/ZB approved under Delegated Authority for the subdivision of Lot 8 and Lot 23 DP 270520 into a Community Title subdivision creating six residential lots, 18 residue lots and eight community association lots including a new road in three stages.
- 18/10/2013** Modification Application 250/2013/ZB/A approved under Delegated Authority for amendments including lot numbering, road pattern, lot dimensions and lot areas.
- 31/03/2014** Subject Development Application lodged.
- 12/05/2014** Letter sent to the applicant requesting additional information regarding compliance with DCP Part D Section 6 – Rouse Hill Regional Centre, submission of additional/revised plans, additional information regarding secondary dwellings, submission of landscape plans, submission of an acoustic report, timing of park embellishment works, waste collection details and engineering matters.
- 24/06/2014  
and  
17/07/2014** Additional information submitted by the applicant.
- 03/09/2014** Modification Application 250/2013/ZB/B approved under Delegated Authority for amendments including lot numbering, road pattern, new/amended laneways and amended staging.
- 08/09/2014** Email sent to the applicant requesting additional information regarding balcony locations for the secondary dwellings and setbacks.
- 12/09/2014  
and  
16/09/2014** Additional information submitted by the applicant.

## **PROPOSAL**

The Development Application is for an integrated housing development of 153 detached dwellings and associated Community Title subdivision. The site is located within the 'Central Residential Precinct' of Rouse Hill Regional Centre.

The proposed dwellings are all two storey in design, with eight designs and five façade treatments. The dwellings will have external finishes including brick and moroka painted finishes with colorbond roofing.

In addition, five secondary dwellings are proposed above detached garages. The granny flat is a studio unit containing one larger room with kitchen at one end with an en-suite. The granny flat has separate external stairs to provide access.

As outlined in the history, Subdivision Development Application 250/2013/ZB has been approved which created parent development lots and included road and laneway construction. These works include the 'link' of Civic Way to White Hart Drive i.e.: the Central Residential Precinct to the Town Centre. This approval has not been acted upon.

## **ISSUES FOR CONSIDERATION**

### **1. SEPP State and Regional Development 2011**

Clause 20 of SEPP (State and Regional Development) 2011 and the Schedule 4A of the Environmental Planning and Assessment Act, 1979 provides the following referral requirements to a Joint Regional Planning Panel:-

*Development that has a capital investment value of more than \$20 million.*

The proposed development has a capital investment value of \$30,722,195 thereby requiring referral to, and determination by, a Joint Regional Planning Panel.

## **2. Compliance with LEP 2012**

The site is zoned part R3 Medium Density Residential, part R4 High Density Residential and part B4 Mixed Use. The proposed works are located on the part of the site which is zoned R3 Medium Density Residential and R4 High Density Residential. The proposed use is for integrated housing which is a permissible use in the R3 Medium Density Residential and R4 High Density Residential zones.

The proposal includes a variation to the minimum 240m<sup>2</sup> lot size for integrated housing development under LEP 2012. The proposed lots the subject of the variation range from 181.1m<sup>2</sup> to 239.2m<sup>2</sup>, being a maximum variation of 24.6%.

LEP 2012 states as follows:

### **4.1B Exceptions to minimum lot sizes for certain residential development**

- (1) *The objective of this clause is to encourage housing diversity without adversely impacting on residential amenity.*
- (2) *This clause applies to development on land in the following zones:*
  - (a) *Zone R3 Medium Density Residential*
  - (b) *Zone R4 High Density Residential*
- (3) *Development consent may be granted to a single development application for development to which this clause applies that is both of the following:*
  - (a) *the subdivision of land into 3 or more lots,*
  - (b) *the erection of an attached dwelling or a dwelling house on each lot resulting from the subdivision, if the size of each lot is equal to or greater than:*
    - (i) *for the erection of a dwelling house - 240 square metres or*
    - (ii) *for the erection of an attached dwelling - 240 square metres.*

The proposal satisfies the definition in that the proposal is for subdivision and the erection of dwellings however 115 of the 153 proposed lots do not exceed 240m<sup>2</sup>. The proposed lots are:

<b>LOT</b>	<b>AREA (m<sup>2</sup>)</b>	<b>COMPLIES</b>	<b>LOT</b>	<b>AREA (m<sup>2</sup>)</b>	<b>COMPLIES</b>
132	272	Yes	209	230.8	No
133	181.1	No	210	205.2	No
134	181.1	No	211	205.2	No
135	181.1	No	212	205.2	No
136	293.9	Yes	213	301.4	Yes
137	293.9	Yes	214	344.6	Yes
138	181.1	No	215	229.9	No
139	181.1	No	216	247.5	Yes
140	181.1	No	217	314.8	Yes
141	227.6	No	218	196.5	No

142	276.6	Yes	219	195.6	No
143	217.7	No	220	307	Yes
144	232.5	No	221	193.3	No
145	190.7	No	222	192.4	No
146	231.9	No	223	239.2	No
147	181.1	No	224	300.3	Yes
148	181.1	No	225	312.3	Yes
149	250.8	Yes	226	272.3	Yes
150	224.9	No	227	248.6	Yes
151	181.1	No	228	228	No
152	181.1	No	229	228	No
153	188.7	No	230	228	No
154	190.8	No	231	250.7	Yes
155	187.9	No	232	250.7	Yes
156	192.9	No	233	219.1	No
157	277.9	Yes	234	260.6	Yes
158	279.9	Yes	235	358.9	Yes
159	191.9	No	236	184.3	No
160	191.9	No	237	207.6	No
161	227.9	No	238	215	No
162	272.9	Yes	239	233.8	No
163	187.1	No	240	316.7	Yes
164	265.7	Yes	241	253.6	Yes
165	238	No	242	230.5	No
166	219.5	No	243	292.7	Yes
167	231	No	244	362.1	Yes
168	193.1	No	245	212.7	No
169	289.6	Yes	246	215.3	No
170	209	No	247	217.8	No
171	208.9	No	248	198.9	No
172	210.2	No	249	232.3	No
173	212.4	No	250	217.7	No
174	238.4	No	251	223.5	No
175	258.5	Yes	252	226.6	No
176	382.5	Yes	253	201.4	No
177	203.7	No	254	295.7	Yes
178	203.7	No	255	267.6	Yes
179	203.7	No	256	201.4	No
180	203.7	No	257	201.4	No
181	203.7	No	258	226.6	No
182	203.7	No	259	201.4	No
183	203.7	No	260	201.4	No
184	203.7	No	261	226.6	No
185	203.7	No	262	201.4	No
186	233	No	263	201.4	No
187	324.3	Yes	264	226.6	No
188	211.3	No	265	201.4	No
189	181.1	No	266	201.4	No
190	181.1	No	267	201.4	No
191	181.1	No	268	221.9	No
192	181.1	No	269	217.6	No
193	289.6	Yes	270	232.3	No
194	289.5	Yes	271	207.1	No
195	181.1	No	272	201.4	No
196	224.3	No	273	201.4	No

197	305.8	Yes	274	201.4	No
198	240.2	Yes	275	226.6	No
199	228	No	276	201.4	No
200	228	No	277	201.4	No
201	225.9	No	278	226.6	No
202	219	No	279	201.4	No
203	311.9	Yes	280	201.4	No
204	283.9	Yes	281	226.6	No
205	205.2	No	282	201.4	No
206	230.9	No	283	201.4	No
207	205.2	No	284	267.6	Yes
208	205.2	No			

The applicant has submitted the following as justification:

*Clause 4.6 of the Hills Shire LEP 2012 provides a process the make exceptions to standards and comment is provided for each as follows:-*

- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:*
  - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
  - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.*

*Both the parent lot provision requiring 1,800m<sup>2</sup> and the minimum lot size provision are new controls that previously did not apply to this form of housing under the previous planning controls. Indeed, most of the integrated housing and medium density development so far delivered in the Rouse Hill Release Area has been approved on lots less than 240m<sup>2</sup>.*

*The variation of the parent lot provision (Clause 4.1A) still enables lot sizes for the development of a comprehensive housing solution in this part of the site as only laneway and pedestrian connections break up the lots to result in parcels less than 1,800m<sup>2</sup>. The DCP controls have been tailored to address the design of dwellings on lots less than 240m<sup>2</sup> consistent with the street blocks already approved in the Central Precinct, which in part facilitates the overall housing density range to be delivered from the Rouse Hill Regional Centre.*

*All townhouses and integrated housing product delivered to date has been of superior quality with high levels of amenity that has been well accepted in the market place. This track record confirms that LLGPT are capable of delivering this product on lots less than 240m<sup>2</sup> and hence this provision should be varied. The proposed development is generally consistent with all controls which guide built form, provision of landscape, private open space and control amenity impacts.*

*The proposed lot size is considered suitable to accommodate the proposed development.*

- (4) Development consent must not be granted for development that contravenes a development standard unless:*

- (a) the consent authority is satisfied that:*

- (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*

*(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*

*The proposed development is in the public interest as it is consistent with the objectives and the planning framework for Rouse Hill which did not, up until the gazettal of the new LEP, contain these minimum lots size provisions for what was previously integrated housing. Council has consistently confirmed that the LEP process was not to remove development rights which were built into the planning framework for the delivery of Rouse Hill. Clause 4.6 of the LEP, which enables variation of the development standard, will ensure Council can maintain this commitment.*

*(b) the concurrence of the Director-General has been obtained.*

*Practice Note PS08-003 issued by the Department of Planning and Infrastructure notifies Councils of arrangements where the Director General's concurrence can be assumed. This applies to the standards for which exceptions are sought.*

**Comment:**

The proposed lot areas have been reviewed. Whilst 115 lots do not comply with the LEP 2012 provision, the proposal will result in a satisfactory built form outcome. The objective of Clause 4.1B is:

*The objective of this clause is to encourage housing diversity without adversely impacting on residential amenity.*

The proposed integrated housing development will encourage housing diversity as it allows for a smaller lot size and built form. The dwellings proposed are modest in size and design. The proposed dwellings will not adversely impact upon adjoining properties in respect to residential amenity.

The proposed development is similar in style to a number of existing developments constructed within the Regional Centre area. The proposal is in keeping with the existing streetscape of the area and provides a modern dwelling design. Whilst the proposal does not achieve the minimum site area required under LEP 2012, the proposal provides adequate landscaped private open space areas, privacy between dwellings and a functional internal design.

The built form reflects the design of dwellings within the immediate area and allows reasonable solar access to courtyard areas. The proposal provides an opportunity for a mix of dwelling types within close proximity to the established Town Centre. Schools, community facilities and open space are also available within walking distance of the site.

Based on the above comments it is considered that an appropriate built form outcome will be achieved which increases housing diversity without adversely impacting upon residential amenity.

Clause 4.6 (4) of LEP 2012 states:

*Development consent must not be granted for development that contravenes a development standard unless:*

*(a) the consent authority is satisfied that:*

- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*

Comment: The applicant has adequately addressed the matters required to be addressed by subclause (3).

- (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and

Comment: As detailed above, the proposal is an appropriate development outcome in regard to public interest and is consistent with the objectives of the R3 Medium Density Residential and R4 High Density Residential zones.

- (b) the concurrence of the Director-General has been obtained.

Comment: Council has assumed concurrence under the provisions of Circular PS 08-003 issued by the Department of Planning and infrastructure.

On the basis of the above comments, the proposed variation to the lot size is considered reasonable and will not result in an adverse impact on residential amenity to future residents.

## **2. Compliance with DCP 2011 Part D Section 6 – Rouse Hill Regional Centre**

The proposal has been assessed against the provisions of DCP 2011 Part D Section 6 – Rouse Hill Regional Centre as follows:

<b>Criteria</b>	<b>Required</b>	<b>Provided</b>	<b>Complies</b>
Density	30-60 dwellings per hectare.	32 dwellings per hectare.	Yes
Building Form	Building forms that complement the area and have consideration to streetscape, impact and landscape.	The proposal is considered to be satisfactory in regard to building form.	Yes
Site Frontage	For small lot housing, 7-9 metres or 6 metres where rear loaded.	All other lots comply.	Yes
Building Height	Building heights to be consistent with LEP 2012. Floor to ceiling height for the ground floor of 2.7m and upper floor preferably 2.55m with a minimum of 2.4m. Buildings within the 70m curtilage of Mungerie House will be one storey.	The dwellings are all within the LEP height limit. The ground floor has a height of 2.75m and the upper floor a minimum 2.4m. Variation to height for buildings within Mungerie House curtilage.	No, however the height limit adjacent to Mungerie House is considered satisfactory and will not impact on the heritage curtilage.
Front Building Setback	Front setback 3m.  Articulation is permitted to intrude into front setback to 1.5m for various percentages dependent on lot width.  Articulation to the front	Variation required to articulation zone for lots 135, 145, 147, 152, 154, 159, 173, 175, 176, 205, 209, 210, 214, 220, 227, 232 and 239.	No, however the proposed streetscape outcome is satisfactory.



	<p>building line is required and is permitted up to 1.5 metres for:</p> <ul style="list-style-type: none"> <li>• Lot width less than 11 metres - max 40% of length of dwelling facade.</li> <li>• Lot width 11 metres or greater - max 50% of length of dwelling facade.</li> </ul>		
Corner Side Setback	<p>Corner setback 2m.</p> <p>Articulation to the side (corner) setback on a corner lot permitted up to 1 metre for max 40% of length of dwelling facade.</p>	<p>Lot 166 has a 2m side setback proposed however the articulation zone is 43%.</p>	<p>No, however the design will not adversely impact on streetscape.</p>
Garage Front Setbacks	<p>5.5 metres</p>	<p>All garages fronting public roads have a 5.5m setback.</p>	<p>Yes</p>
Rear Setback	<p>Ground floor rear setback 4m.</p> <p>Upper floor setbacks to rear boundary:</p> <p>Lot depth less than 30m - 5m.</p> <p>Lot depth 30m or greater - 7m</p> <p>Garage setback to rear lane - 0.5m</p> <p>Articulation in the rear setback is permitted up to 1.5m and shall include a blade wall.</p>	<p>The proposed rear setback to Lot 234 is 3.7m however no blade wall has been provided.</p>	<p>No, however the rear setback and impacts on privacy are considered reasonable.</p>
Side Setbacks	<p>Detached or zero lot line:</p> <p>Lot width less than 11m - 1m</p> <p>Lot width 11-13.5m - 1.2m</p> <p>Lot width greater than 13.5m - 1.5m</p> <p>Note: zero lot lines are permitted.</p>	<p>Variation to side setbacks for Lots 132, 136, 137, 143, 162, 193, 194, 196, 197, 214, 220, 224, 227 and 232.</p>	<p>No, however the separation between buildings is considered adequate to maintain amenity.</p>
Building Appearance and Articulation	<p>The provision of interest in design, articulation, and an attractive streetscape.</p>	<p>The proposed buildings are considered to be satisfactory in terms of design and external appearance.</p>	<p>Yes</p>
Roof Design	<p>Roof designs are to create interest and diversity in design.</p>	<p>The proposed roof designs are considered to be satisfactory.</p>	<p>Yes</p>
Driveways	<p>500mm landscape strip required along all driveways, and crossovers</p>	<p>All dwellings provide a 500mm landscape strip.</p>	<p>Yes</p>

	widths required to be 3m.		
Carparking	Dwellings with 1-3 bedrooms are required to provide 1 space.	All lots have either a single or double garage.	Yes
Garage Design	Garages are to be designed to be consistent with the dwelling design and external materials.	The proposed garages are satisfactory in regard to their design.	Yes
Solar Access	Dwellings to comply with BASIX. Buildings are to be designed to optimise solar access requirements and to minimise impact to adjoining properties. Typically a minimum of 3 hours solar access to a living area of each dwelling is required.	All dwellings provide satisfactory BASIX outcomes. All dwellings have been designed to achieve reasonable solar access outcomes.	Yes
Landscaping	A minimum 40% of each lot shall be soft landscaping.	All lots provide in excess of 40% soft landscape area.	Yes
Private and Common Open Space	Minimum of 23% of the lot area for lots up to 400m <sup>2</sup> , primary area of 4m x 6m.  A portion of the private open space areas can be roofed or covered however no roofing to encroach into setback areas.	All lots provide in excess of 23%, with appropriate dimensions and which are useable areas.	Yes
Solar Access to Private Open Space	50% of required private open space shall receive 3 hours of solar access between 9am and 3pm on June 21 (exception may be considered if in specific circumstances the compliance would unduly affect functionality or liveability).	A variations is proposed to the following lots: 133, 134, 135, 143, 144, 145, 146, 147, 148, 223, 231, 248, 269 and 271.	No, however the solar access provided to the dwellings is reasonable.
Fencing and Courtyard Walls	Fencing is to complement the design of the building and define private space. Front fence height to be a maximum 1.2m and be 25% transparent. Side and rear fencing is to be 1.8m high and either masonry or timber. Corner lot fencing that is 1.8m high is to be no more than 50% of the length of the lot.	The proposed fencing is satisfactory and will complement the dwelling designs.	Yes
Designing for Privacy	Second storey windows within or 4.5m of a side boundary are to have	A condition of consent has been recommended requiring the use of	Yes

	privacy measures, and 5m of a rear boundary of a 25m deep lot are to have permanent privacy measures applied.	privacy measures on relevant windows. See Condition 27.	
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**a. Height within Heritage Curtilage**

The DCP requires that dwellings within the 70 metre curtilage of Mungerie House are to be single storey in design. The height limit is also required in the Masterplan and the Central Precinct Plan. The applicant has proposed two storey dwellings in the 70 metre curtilage. Attachment 6 shows the 70 metre curtilage around Mungerie House.

The applicant has submitted a Statement of Heritage Impact addressing the proposed height which concludes as follows:

*This report concludes that the proposal for the inclusion of 2 storey town house dwellings within the single storey limit of the Mungerie House Curtilage:*

- *will not affect preservation of the heritage significance of the Homestead and its setting,*
- *will not affect any significant views to or from Mungerie House or its precinct,*
- *will contribute to the establishment of an attractive streetscape in the New Rouse Hill Regional Centre, complementing the setting of the Mungerie House Precinct.*

**Comment:**

The proposal has been reviewed by Council's Senior Strategic Planner who has concluded as follows:

- *The proposed development will have a shared streetscape relationship with Mungerie House, at the perimeter of its established curtilage. Mungerie House is separated from the proposed development by a road, car parking bays, streets tree plantings, the reconstituted landscape gardens of Mungerie House and the water-tank tower. It is unlikely that these relationships will be affected by the proposal to include two storey dwellings within the outer area of the perimeter of the curtilage;*
- *The prominence of Mungerie House, including primary vistas to and from the house will be retained. It is unlikely that any identified views to and from Mungerie House would be unreasonably affected by the proposed development;*
- *The proposed dwellings will be constructed of a range of materials that are sympathetic to the character of the Mungerie House Precinct with articulated massing to minimise adverse visual impacts on Mungerie House. The proposed colour and materials schedule is considered to be appropriate and sympathetic to the heritage item;*
- *The proposed orientation of the dwellings towards Mungerie House provides a better urban design outcome with respect to activation of the street frontage and visual appearance when viewed from Mungerie House as compared to the single storey streetscape outcome. The proposed dwellings will ultimately contribute to the establishment of an attractive streetscape, complementing the setting of Mungerie House; and*

- *The proposed two storey dwellings are unlikely to reduce the prominence of Mungerie House within its setting. The use of sympathetic materials with articulated building massing and established landscaping and street trees are expected to minimise any adverse visual impacts from the increased height of the dwellings.*

On this basis no objection is raised to the proposed two storey design.

## **b. Front Articulation Zone**

The DCP requires a front setback of 3 metres and allows articulation into the front setback to either 40% or 50% of the frontage dependent on lot width. The proposal includes variations to the extent of the articulation zone on the following lots:

Proposed Lot	Articulation Zone Required	Proposed Articulation Zone	Proposed Lot	Articulation Zone Required	Proposed Articulation Zone
135	40%	48.2%	205	40%	58.5%
145	50%	57.6%	209	40%	62.7%
147	40%	48.2%	210	40%	58.5%
152	40%	57.6%	214	50%	56%
154	40%	48.2%	220	50%	51.6%
159	40%	58.5%	227	50%	57.6%
173	40%	58.4%	232	50%	57.6%
175	40%	62.4%	239	40%	58.5%
176	50%	58.7%			

The applicant has addressed the variation as follows:

*The DCP requires an assessment of the articulation against the length of the dwelling façade. It is disagreed that the DCP allows assessment at different levels as this would result in very undesirable streetscape, limiting variation and interest, particularly on an upper level where the setting back upper floors would lead to tokenistic gestures rather than features that add amenity for residents and improve streetscape.*

*The principles for setting controls for setbacks are primarily to allow solar access to open space areas, minimise impacts on adjacent allotments, contribute to reducing bulk to the streetscape, reduce the impact of garages, and allow for landscape spaces within each allotment to address the streetscape.*

*Articulations in the front setback and façade are required to allow larger gardens, private front courtyard solutions, and visual interest in the front of the home. The current DCP controls preserve the ability to ensure the objectives and principles for the front setback are upheld when assessing individual dwelling designs in the absence of designs for adjacent dwellings. As such the controls ensure the outcomes can be achieved despite in the absence of the benefit of having dwelling design for all adjacent dwellings.*

*The current application contains details for the façade, articulation, landscaping and privacy measures for all adjacent dwellings whereby the impacts on adjacent dwellings resulting from to the additional articulation can be reviewed and assessed. The features that extend into the articulation zone, not only contribute to the streetscape, but also add to the liveability of the dwelling for future residents. They do not typically extend into the articulation zone to the maximum allowed by the DCP, and are designed to be usable, rather than an architectural gesture which has no function or benefit to the resident.*

*Despite some dwellings containing front articulation areas exceeding the ratio compared to the length of dwelling nominated in the DCP controls, there are no adverse impacts on the adjacent dwellings, the streetscape or residential amenity.*

**Comment:**

The principles within the DCP relate to defining the built area, provision of solar access to rear yards, minimising impact to adjoining property, streetscape appearance and minimising bulk of garages, and allowing landscape works to be undertaken.

The proposed variation has been assessed having regard to the objectives of the DCP and is considered to be satisfactory given that the proposal will not create an adverse impact upon streetscape and allows for appropriate articulation for the scale and design of the dwellings. Adequate area remains for landscape planting on the site, the provision of a useable private open space and solar access.

As the development is proposed as an 'integrated' form of development the adjoining development is a known outcome. As such, future residents will have appropriate levels of amenity.

On this basis the proposed setback is considered satisfactory.

**c. Articulation to a Corner Lot**

The DCP limits the articulation zone to 40% for a corner lot. For Lot 166 the proposed articulation zone is 43% which relates to the provision of a pergola over an entry to the courtyard.

The applicant has addressed the variation as follows:

*The proposed articulation along the secondary frontage extends for 43% of the dwelling façade exceeding the DCP by 3% or 0.342m however this extended articulation zone increases solar access into the dwelling without adverse impacts to solar access on adjacent dwellings, assists in reducing the bulk of the frontage while providing for a continuous landscape space along the entire frontage.*

**Comment:**

The principles within the DCP relate to defining the built area, provision of solar access to rear yards, minimising impact to adjoining property, streetscape appearance and minimising bulk of garages, and allowing landscape works to be undertaken.

The proposed variation has been assessed having regard to the objectives of the DCP and is considered to be satisfactory given that the proposal will not create an adverse impact upon streetscape and allows for appropriate articulation for the scale and design of the dwellings. The provision of the pergola allows for additional shading over the entry to the courtyard and is integrated into the design of the dwelling.

On this basis the proposed variation to the articulation zone is considered satisfactory.

**d. Rear Setback and Non-Provision of a Blade Wall**

The DCP requires a 5m rear setback however an articulation zone can be provided to the rear building line up to 1.5m. The DCP states that rear articulation shall include a blade wall for the purpose of increasing privacy. The proposed rear setback to Lot 234 is 3.7m however no blade wall has been provided.

The applicant has submitted the following justification:

*The DCP refers to building articulation can be generated through such features, at no point does the DCP mandate that articulation zones must include these features or that articulation zones are expressly prohibited from including such areas as bedrooms. The example of the rear articulation zone in Council's report of 23 April 2013 shows bedrooms within the articulation zone.*

*The only aspect of the proposed design not complying with this portion of the DCP is the lack of a blade wall incorporated into the building design to increase privacy between internal rooms of dwellings sharing a common rear boundary.*

*In this regard:*

- The corner of the dwelling provides privacy from Lot 236,*
- The blade wall on lot 237 (bed 3) provides privacy to Bed 2 in lot 234.*
- The distance between bedrooms 2 of lots 234 & 237 is greater than the DCP control for minimum building separation (8m) eliminating the requirement for the blade wall as the separation exceeds the combined setback requirement without utilising the articulation zone.*

**Comment:**

The principles within the DCP relate to defining the built area, provision of solar access to rear yards, minimising impact to adjoining property, streetscape appearance and minimising bulk of garages, and allowing landscape works to be undertaken.

The proposed dwelling is provided with reasonable access to private open space, solar access and landscape works. The rear setback is considered satisfactory given that the development provides a known built form outcome. The dwelling sits at an angle on an irregularly shaped lot and the non-provision of the blade wall is not considered to reduce privacy between the subject site and the adjoining rear dwelling.

As such no objection is raised to the proposed variation.

**e. Side Setbacks**

The DCP requires a varying side setback dependent on the lot width as follows:

Lot width less than 11m	1m side setback
Lot width 11-13.5m	1.2m side setback
Lot width greater than 13.5m	1.5m side setback

The applicant has addressed the variation as follows:

*Setbacks address impacts of amenity, privacy, solar access, streetscape and setting. Because the proposed setback is a minor reduction from the existing standard and exceeds the requirements under the Codes SEPP and the BCA, it is considered unlikely that the proposed side setback will create any adverse impact on residential amenity. It is recommended that the minimum proposed 1m side setback be supported on the basis that it is unlikely to create adversely impact on residential amenity exceeds the requirements of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 and the Building Code of Australia.*

**Comment:**

The principles within the DCP relate to defining the built area, provision of solar access to rear yards, minimising impact to adjoining property, streetscape appearance and minimising bulk of garages, and allowing landscape works to be undertaken.

The proposed variation has been assessed having regard to the objectives of the DCP and is considered to be satisfactory given that the dwellings have been designed as an integrated development and as such the adjoining dwelling design is known and impacts can be considered. The proposed design does not unreasonably impact upon privacy or overshadowing and adequate area is available for landscape works to be undertaken. the proposed side setbacks will not create an adverse impact upon streetscape.

On this basis the proposed side setback is considered satisfactory.

#### **f. Solar Access**

The DCP requires that 50% of required private open space shall receive 3 hours of solar access between 9am and 3pm on June 21 (exception may be considered if in specific circumstances the compliance would unduly affect functionality or liveability). Variations are proposed to the following lots: 133, 134, 135, 143, 144, 145, 146, 147, 148, 223, 231, 248, 269 and 271.

The applicant has submitted the following as justification:

*The shadow diagrams included in the architectural plans shows all the majority of lots comply with the exception of those street blocks with an east west orientation.*

*The DCP for Rouse Hill Regional Centre states that "50% of required private open space shall receive 3 hours of solar access between 9am and 3pm on June 21 (exception may be considered if in specific circumstances the compliance would unduly affect functionality or liveability)."*

*Because of the orientation of these east west blocks there is a higher potential for dwellings to overshadow each other. One can see from the size of the dwelling that it also has one of the smallest footprints and hence further reducing the building to facilitate more solar access would unduly affect the functionality and live-ability of the dwelling.*

*The areas of private open space are located directly accessible to living areas for private recreation and will receive adequate solar access. Solar access is achieved in summer and mid Spring and Autumn. Given the orientation of the site, the proposed solar access is considered satisfactory.*

#### **Comment:**

The principles of the DCP relate to the provision of a usable private open area which caters to the needs of residents in respect to leisure, recreation and outdoor entertaining. An adequate area of private open space has been provided which exceeds the DCP requirements. The private open space area is directly accessible from living areas of the dwelling and will cater for private recreation needs.

Given the orientation of the site, the proposed solar access is considered satisfactory.

### **3. Secondary Dwellings**

Five of the proposed dwellings will also include a granny flat above the detached garage. The granny flat is a studio unit containing one larger room with kitchen at one end with an en-suite and balcony. The granny flats have separate external stairs to provide access.

The proposed secondary dwelling has been assessed against the relevant provisions of SEPP (Affordable Rental Housing) 2009.

The SEPP defines a Secondary Dwelling as follows;

***"development for the purposes of a secondary dwelling includes the following:***

- (a) the erection of, or alterations or additions to, a secondary dwelling,*
- (b) alterations or additions to a principal dwelling for the purposes of a secondary dwelling.*

**Note.**

*The standard instrument defines secondary dwelling as follows:*

***secondary dwelling*** means a self-contained dwelling that:

- (a) is established in conjunction with another dwelling (the **principal dwelling**), and*
- (b) is on the same lot of land (not being an individual lot in a strata plan or community title scheme) as the principal dwelling, and*
- (c) is located within, or is attached to, or is separate from, the principal dwelling."*

The proposal includes construction of a detached secondary dwelling above the garage to the rear/side of the proposed principal dwelling.

The SEPP states that a consent authority must not consent to development unless:

<b>SEPP Requirement</b>	<b>Proposal</b>	<b>Compliance</b>
Total floor area of the principal dwelling and the secondary dwelling to be no more than that permitted under another EPI for a dwelling house.	LEP 2012 does not set a limit on floor space on the subject site therefore the SEPP development standard is not applicable to the site.	Yes
Floor area of secondary dwelling must be no more than 60m <sup>2</sup>	29m <sup>2</sup> (all secondary dwellings).	Yes

The SEPP also states that the consent authority must not refuse a development on either of the following grounds:

*(a) Site Area if:*

- (i) the secondary dwelling is located within, or is attached to, the principal dwelling, or*
- (ii) the site area is at least 450 square metres,*

*(b) Parking*

*if no additional parking is to be provided on the site.*

The secondary dwellings are detached from the proposed principal dwelling as they are located above the detached garage. The following lot sizes apply:

Lot 176 – 382.5m<sup>2</sup>  
Lot 204 – 283.9m<sup>2</sup>  
Lot 216 – 247.5m<sup>2</sup>  
Lot 255 – 267.6m<sup>2</sup>  
Lot 284 – 267.6m<sup>2</sup>



The applicant has addressed these matters and has stated as follows:

*The Masterplan for Rouse Hill has always identified the need to provide a broad range of housing type including studio apartments and other commitments to increase the range of smaller housing types to improve affordability. The concept of secondary dwellings is also specifically addressed in the newly adopted DCP (see Clause 3.1.7 for setbacks for secondary dwellings above garages).*

**Comment:**

The aims of the SEPP relate to ensuring that a consistent planning regime is provided to facilitate the effective delivery of affordable rental housing.

In regard to the design the following applies:

- The proposed secondary dwellings are being established with the principal dwelling on the lot;
- The proposed secondary dwellings are located above the garage for the principal dwelling. The principal and secondary dwelling are designed to complement each other;

In terms of impact to adjoining properties, the secondary dwellings are located on lots which have a rear access laneway or right-of-carriageway. As such there is appropriate separation between building forms to allow privacy to be maintained to adjoining lots.

A balcony has been provided the secondary dwellings. The balconies are small in area, and face the lane/right-of-carriageway and are not considered highly useable. In this respect the use of the balconies is unlikely to result in privacy impacts to adjoining properties.

On the basis of the design and layout of the secondary dwellings and given the integrated format of the design ie: all dwellings will be constructed as one development, it is considered that the proposed layout of the secondary dwellings is satisfactory and can be supported.

Based on the above the proposed secondary dwellings are permissible and are satisfactory.

#### **4. Consistency with Approved Precinct Plan and Design Guidelines**

##### **a. Approved Precinct Plan**

Development Consent was granted on 10 January 2013 for the Central Residential Precinct Plan (Development Application 1210/2011/HB) at Council's Delegated Authority Meeting.

The Precinct Plan contained a number of conditions of consent. The proposal is generally consistent with the conditions with the exception of Condition 5 which states as follows:

##### **5. Mungerie House Curtilage**

*All buildings/dwellings within the 70 metre curtilage of Mungerie House as shown in the Design Guidelines are limited to single storey in height.*

The height of the development is addressed in Section 3 above.

The Precinct Plan also included a number of plans which were approved as part of the Development Consent as follows:-

- (i) Drawing 01 - Location Plan – Satisfactory;
- (ii) Drawing 02 – Land Use Context – the subject site is identified as being for residential use. The current proposal is for integrated housing and is satisfactory.
- (iii) Drawing 03 – Structure Plan – the road locations and development lots are consistent.
- (iv) Drawing 04 – Pedestrian and Cycle Network – the required pedestrian and cycle links which affect the site have been provided within the underlying subdivision application.
- (vi) Drawing 05 – Open Space – the site includes a centralised neighbourhood park and pocket parks.

#### **b. Design Guideline Requirements**

In addition to the DCP, the approved Precinct Plan includes Design Guidelines which provide additional criteria for assessment of any proposal in the Precinct. The Design Guidelines contain criteria relevant to this application relating to building character and external materials and colours. The proposed design and external finishes are reflective of the desired modern character of the area and is considered satisfactory.

### **5. Submissions**

The proposal was advertised and notified to adjoining property owners for 14 days. There was one submission received which raised the following concerns (summarised):

- This development should only be approved subject to upgrade of the intersection between Caddies Boulevard and Sanctuary Drive to improve safety.
- This intersection is already unsafe due to: speed of traffic travelling along Sanctuary Drive, foliage in the central median strip of Sanctuary Drive, the bend in the road obscures visibility when turning from Caddies Boulevard into Sanctuary Drive, cars use this intersection as a u-turn, and fog settles in this location.
- The proposed development and the development of sports fields and housing estate to the south of Sanctuary Drive will further increase the risk of accidents at this intersection due to increased traffic volumes.
- Council are requested to urgently review and improve the safety of this intersection, ideally by installing a roundabout which will make the intersection much safer for traffic turning into Sanctuary Drive from Caddies Boulevard.

#### **Comment:**

The proposed development has been reviewed by Council's Principal Traffic and Transport Co-ordinator who advised:

The intersection of Caddies Boulevard and Sanctuary Drive is currently operating at a satisfactory level of service and there is no established accident history. Caddies Boulevard is a Collector Road with a capacity of up to 6000 vehicles per day and

Sanctuary Drive is a Sub-Arterial Road with a capacity of up to 15,000 vehicles per day. The roads are not currently operating at these maximum capacities due to future development potential in the Rouse Hill Regional Centre, Kellyville, Rouse Hill and North Kellyville. The sight distance has been reviewed and is satisfactory for all turning movements. There is no requirement for works to be undertaken at the intersection to improve vehicle access. The concerns raised about overgrown foliage have been reviewed and there is no trimming works required.

In the future, the intersection of Caddies Boulevard and Sanctuary Drive will be signalised. This is likely to be paid for jointly by Lend Lease GPT and Council. This will occur when the warrant for traffic signals and pedestrian access has been met and is likely to be required when the playing fields and residential development occurs to the south (around 2016). These works, in conjunction with the on-going development of the Regional Centre, will form the basis for the future signalisation.

No objection raised to the proposal and no conditions.

#### **SUBDIVISION ENGINEERING COMMENTS**

No objection raised to the proposal. Relevant conditions are included in the recommendation.

#### **TRAFFIC MANAGEMENT COMMENTS**

No objection raised to the proposal and no conditions.

#### **TREE MANAGEMENT COMMENTS**

No objection raised to the proposal. Relevant conditions are included in the recommendation.

#### **HEALTH & ENVIRONMENTAL PROTECTION COMMENTS**

No objection raised to the proposal. Relevant conditions are included in the recommendation.

#### **WASTE MANAGEMENT COMMENTS**

No objection raised to the proposal. Relevant conditions are included in the recommendation.

#### **HERITAGE COMMENTS**

No objection raised to the proposal. Relevant conditions are included in the recommendation.

#### **CONCLUSION**

The proposal has been assessed against the provisions of Section 79C of the Environmental Planning and Assessment Act, 1979, Local Environmental Plan 2012 and Development Control Plan Part D Section 6 – Rouse Hill Regional Centre. The proposed variation to lot area under Local Environmental Plan 2012 and to height, front articulation zone, corner articulation zone, non-provision of a blade privacy wall, side setbacks and solar access under the DCP have been assessed and will not adversely impact upon amenity to future residents. The submission received to the proposal has been assessed and does not warrant refusal of the application.

Accordingly the application is recommended for approval subject to conditions.

**IMPACTS:****Financial**

This matter has no direct financial impact upon Council's adopted budget or forward estimates.

**The Hills Future - Community Strategic Plan**

The proposal is considered satisfactory in regard to The Hills Future Community Strategic plan and will provide housing diversity within the Shire through the provision of smaller lots with a known built form outcome.

**RECOMMENDATION**

The Development Application be approved subject to the following conditions.

**GENERAL MATTERS****1. Development in Accordance with Submitted Plans**

The development being carried out in accordance with the following approved plans and details, stamped and returned with this consent except where amended by other conditions of consent.

**REFERENCED PLANS AND DOCUMENTS**

DRAWING NO.	DESCRIPTION	DATE
A20321 Sheet 1	Part Product Mix	19.5.14 Rev. D
A20321 Sheet 2	Part Product Mix	19.5.14 Rev. D
A20321 Sheet 2	Overall Site Plan	19.5.14 Rev. E
A20321 Sheet 3	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 4	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 5	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 6	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 7	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 8	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 9	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 10	Part Ground Site Plan	19.5.14 Rev. E
A20321 Sheet 11	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 12	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 13	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 14	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 15	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 16	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 17	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 18	Part First Site Plan	19.5.14 Rev. E
A20321 Sheet 19	Streetscape Elevations	19.5.14 Rev. E
A20321 Sheet 20	Streetscape Elevations	19.5.14 Rev. E

A20321 Sheet 21	Streetscape Elevations	19.5.14 Rev. E
A20321 Sheet 22	Streetscape Elevations	19.5.14 Rev. E
A20321 Sheet 23	Streetscape Elevations	19.5.14 Rev. E
A20321 Sheet 24	Streetscape Elevations	19.5.14 Rev. E
A20321 Sheet 25	Private Open Space	19.5.14 Rev. E
A20321 Sheet 26	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 27	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 28	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 29	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 30	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 31	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 32	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 33	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 34	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 35	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 36	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 37	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 38	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 39	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 40	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 41	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 42	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 43	Shadow Analysis Plans	19.5.14 Rev. E
A20321 Sheet 45	BASIX & Colour Pallet	19.5.14 Rev. E
A20321 Sheet 3	Type A/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 4	Type A/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 5	Type A/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 6	Type A/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 7	Type A/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 8	Type A/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 9	Type A/Façade D Floor Plans	19.5.14 Rev. D
A20321 Sheet 10	Type A/Façade D Elevations	19.5.14 Rev. D
A20321 Sheet 11	Type A/Façade E Floor Plans	19.5.14 Rev. D
A20321 Sheet 12	Type A/Façade E Elevations	19.5.14 Rev. D
A20321 Sheet 13	Type B/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 14	Type B/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 15	Type B/Façade B Floor Plans	19.5.14 Rev. D

A20321 Sheet 16	Type B/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 17	Type B/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 18	Type B/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 19	Type C/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 20	Type C/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 21	Type C/Façade A Studio Elevations	19.5.14 Rev. D
A20321 Sheet 22	Type C/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 23	Type C/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 24	Type C/Façade B Studio Elevations	19.5.14 Rev. D
A20321 Sheet 25	Type C/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 26	Type C/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 27	Type C/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 28	Type E/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 29	Type E/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 30	Type E/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 31	Type E/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 32	Type F/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 33	Type F/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 34	Type F/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 35	Type F/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 36	Type G/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 37	Type G/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 38	Type G/Façade A Garage Elevations	19.5.14 Rev. D
A20321 Sheet 39	Type G/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 40	Type G/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 41	Type G/Façade B Garage Elevations	19.5.14 Rev. D
A20321 Sheet 42	Type G/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 43	Type G/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 44	Type G/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 45	Type H/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 46	Type H/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 47	Type H/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 48	Type H/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 49	Type H/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 50	Type H/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 51	Type H/Façade D Floor Plans	19.5.14 Rev. D
A20321 Sheet 52	Type H/Façade D Elevations	19.5.14 Rev. D

A20321 Sheet 53	Type J/Façade A Ground Floor Plan	19.5.14 Rev. D
A20321 Sheet 54	Type J/Façade A First Floor Plan	19.5.14 Rev. D
A20321 Sheet 55	Type J/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 56	Type J/Façade B Ground Floor	19.5.14 Rev. D
A20321 Sheet 57	Type J/Façade B First Floor	19.5.14 Rev. D
A20321 Sheet 58	Type J/Façade B Elevations	19.5.14 Rev. D
A20321 Sheet 59	Type J/Façade C Ground Floor	19.5.14 Rev. D
A20321 Sheet 60	Type J/Façade C First Floor	19.5.14 Rev. D
A20321 Sheet 61	Type J/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 62	Type C/Façade A Floor Plans	19.5.14 Rev. D
A20321 Sheet 63	Type C1/Façade A Elevations	19.5.14 Rev. D
A20321 Sheet 64	Type C1/Façade A Studio Elevations	19.5.14 Rev. D
A20321 Sheet 65	Type G/Façade B Floor Plans	19.5.14 Rev. D
A20321 Sheet 66	Type C1/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 67	Type C1/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 68	Type J/Façade C First Floor	19.5.14 Rev. D
A20321 Sheet 69	Type G1/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 70	Type G1/Façade B Garage Elevations	19.5.14 Rev. D
A20321 Sheet 71	Type G/Façade C Floor Plans	19.5.14 Rev. D
A20321 Sheet 72	Type G1/Façade C Elevations	19.5.14 Rev. D
A20321 Sheet 72	Type G1/Façade C Garage Elevations	19.5.14 Rev. D
Sheet F-01	Fencing Key Plan	20-06-14 Rev. D
Sheet F-02	Fencing Key Plan	20-06-14 Rev. D
Sheet F-03	Fencing Key Plan	20-06-14 Rev. D
Sheet F-04	Fencing Key Plan	20-06-14 Rev. D
Sheet F-05	Fencing Key Plan	20-06-14 Rev. D
L-01	Landscape Plan – Lot 132 Galara Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 132 Galara Street	07-07-14 Rev. E
L-03	Fencing Details	07-07-14 Rev. E
L-01	Landscape Plan – Lot 133 Galara Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 133 Galara Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 134 Galara Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 134 Galara Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 135 Galara Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 135 Galara Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 136 Galara Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 136 Galara Street	07-07-14 Rev. E

L-01	Landscape Plan – Lot 137 Jimbuck Lane	07-07-14 Rev. E
L-02	Landscape Plan – Lot 137 Jimbuck Lane	07-07-14 Rev. E
L-01	Landscape Plan – Lot 138 Romney Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 138 Romney Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 139 Romney Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 139 Romney Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 140 Romney Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 140 Romney Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 141 Romney Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 141 Romney Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 142 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 142 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 143 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 143 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 144 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 144 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 145 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 145 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 146 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 146 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 147 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 147 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 148 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 148 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 149 Galara Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 149 Galara Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 150 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 150 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 151 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 151 Romney	08-07-14 Rev. E



	Street	
L-01	Landscape Plan – Lot 152 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 152 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 153 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 153 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 154 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 154 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 155 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 155 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 156 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 156 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 157 Jimbuck Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 157 Jimbuck Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 158 Jimbuck Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 158 Jimbuck Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 159 Jimbuck Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 159 Jimbuck Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 160 Jimbuck Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 160 Jimbuck Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 161 Jimbuck Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 1618 Jimbuck Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 162 Jimbuck Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 162 Jimbuck Street	08-07-14 Rev. E

L-01	Landscape Plan – Lot 163 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 163 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 164 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 164 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 165 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 165 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 166 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 166 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 167 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 167 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 168 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 168 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 169 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 169 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 170 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 170 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 171 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 171 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 172 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 172 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 173 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 173 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 174 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 174 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 175 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 175 Caddies Boulevard	07-07-14 Rev. E

L-01	Landscape Plan – Lot 176 Caddies Boulevard	07-07-14 Rev. E
L-02	Landscape Plan – Lot 176 Caddies Boulevard	07-07-14 Rev. E
L-01	Landscape Plan – Lot 177 Saxon Lane	07-07-14 Rev. E
L-02	Landscape Plan – Lot 177 Saxon Lane	07-07-14 Rev. E
L-01	Landscape Plan – Lot 178 Saxon Lane	07-07-14 Rev. E
L-02	Landscape Plan – Lot 178 Saxon Lane	07-07-14 Rev. E
L-01	Landscape Plan – Lot 179 Saxon Lane	07-07-14 Rev. E
L-02	Landscape Plan – Lot 179 Saxon Lane	07-07-14 Rev. E
L-01	Landscape Plan – Lot 180 Saxon Lane	07-07-14 Rev. E
L-02	Landscape Plan – Lot 180 Saxon Lane	07-07-14 Rev. E
L-01	Landscape Plan – Lot 181 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 181 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 182 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 182 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 183 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 183 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 184 Saxon Lane	08-07-14 Rev. E
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L-01	Landscape Plan – Lot 187 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 187 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 188 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 188 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 189 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 189 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 190 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 190 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 191 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 191 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 192 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 192 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 193 Romney Street	08-07-14 Rev. E

L-02	Landscape Plan – Lot 193 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 194 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 194 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 195 Romney Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 195 Romney Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 196 Saxon Lane	08-07-14 Rev. E
L-02	Landscape Plan – Lot 196 Saxon Lane	08-07-14 Rev. E
L-01	Landscape Plan – Lot 197 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 197 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 198 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 198 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 199 Grazier Road	09-07-14 Rev. E
L-02	Landscape Plan – Lot 199 Grazier Road	09-07-14 Rev. E
L-01	Landscape Plan – Lot 200 Grazier Road	09-07-14 Rev. E
L-02	Landscape Plan – Lot 200 Grazier Road	09-07-14 Rev. E
L-01	Landscape Plan – Lot 201 Grazier Road	09-07-14 Rev. E
L-02	Landscape Plan – Lot 201 Grazier Road	09-07-14 Rev. E
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L-02	Landscape Plan – Lot 202 Grazier Road	09-07-14 Rev. E
L-01	Landscape Plan – Lot 203 Grazier Road	09-07-14 Rev. E
L-02	Landscape Plan – Lot 203 Grazier Road	09-07-14 Rev. E
L-01	Landscape Plan – Lot 204 Caddies Boulevard	09-07-14 Rev. E
L-02	Landscape Plan – Lot 204 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 205 Caddies Boulevard	09-07-14 Rev. E
L-02	Landscape Plan – Lot 205 Caddies Boulevard	09-07-14 Rev. E
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L-02	Landscape Plan – Lot 209 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 210 Caddies Boulevard	09-07-14 Rev. E
L-02	Landscape Plan – Lot 210 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 211 Caddies Boulevard	20-06-14 Rev. D
L-02	Landscape Plan – Lot 211 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 212 Caddies Boulevard	09-07-14 Rev. E
L-02	Landscape Plan – Lot 212 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 213 Caddies Boulevard	09-07-14 Rev. E
L-02	Landscape Plan – Lot 213 Caddies Boulevard	09-07-14 Rev. E
L-01	Landscape Plan – Lot 214 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 214 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 215 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 215 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 216 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 216 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 217 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 217 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 218 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 218 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 219 Laneway 5	09-07-14 Rev. E
L-02	Landscape Plan – Lot 219 Laneway 5	09-07-14 Rev. E
L-01	Landscape Plan – Lot 220 Bascule Street	09-07-14 Rev. E

L-02	Landscape Plan – Lot 220 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 221 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 221 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 222 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 222 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 223 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 223 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 224 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 224 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 225 Bascule Street	09-07-14 Rev. E
L-02	Landscape Plan – Lot 225 Bascule Street	09-07-14 Rev. E
L-01	Landscape Plan – Lot 226 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 226 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 227 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 227 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 228 Grazier Road	08-07-14 Rev. E
L-02	Landscape Plan – Lot 228 Grazier Road	08-07-14 Rev. E
L-01	Landscape Plan – Lot 229 Grazier Road	08-07-14 Rev. E
L-02	Landscape Plan – Lot 229 Grazier Road	08-07-14 Rev. E
L-01	Landscape Plan – Lot 230 Grazier Road	08-07-14 Rev. E
L-02	Landscape Plan – Lot 230 Grazier Road	08-07-14 Rev. E
L-01	Landscape Plan – Lot 231 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 231 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 232 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 232 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 233 Bascule Street	08-07-14 Rev. E

L-02	Landscape Plan – Lot 233 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 234 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 234 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 235 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 235 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 236 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 236 Bascule Street	08-07-14 Rev. E
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L-02	Landscape Plan – Lot 237 Bascule Street	08-07-14 Rev. E
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L-01	Landscape Plan – Lot 240 Bascule Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 240 Bascule Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 241 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 241 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 242 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 242 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 243 Laneway 7	08-07-14 Rev. E
L-02	Landscape Plan – Lot 243 Laneway 7	08-07-14 Rev. E
L-01	Landscape Plan – Lot 244 Civic Way	08-07-14 Rev. E
L-02	Landscape Plan – Lot 244 Civic Way	08-07-14 Rev. E
L-01	Landscape Plan – Lot 245 Civic Way	08-07-14 Rev. E
L-02	Landscape Plan – Lot 245 Civic Way	08-07-14 Rev. E
L-01	Landscape Plan – Lot 246 Civic Way	08-07-14 Rev. E
L-02	Landscape Plan – Lot 246 Civic Way	08-07-14 Rev. E

L-01	Landscape Plan – Lot 247 Civic Way	08-07-14 Rev. E
L-02	Landscape Plan – Lot 247 Civic Way	08-07-14 Rev. E
L-01	Landscape Plan – Lot 248 Bond Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 248 Bond Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 249 Bond Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 249 Bond Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 250 Bond Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 250 Bond Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 251 Bond Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 251 Bond Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 252 Peppin Street	08-07-14 Rev. E
L-02	Landscape Plan – Lot 252 Peppin Street	08-07-14 Rev. E
L-01	Landscape Plan – Lot 253 Peppin Street	08-07-14 Rev. E
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L-01	Landscape Plan – Lot 258 Peppin Street	07-07-14 Rev. E
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L-02	Landscape Plan – Lot 262 Peppin Street	07-07-14 Rev. E
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L-01	Landscape Plan – Lot 264 Peppin Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 264 Peppin Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 265 Peppin Street	07-07-14 Rev. E



L-02	Landscape Plan – Lot 265 Peppin Street	07-07-14 Rev. E
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L-01	Landscape Plan – Lot 269 Peppin Street	07-07-14 Rev. E
L-02	Landscape Plan – Lot 269 Peppin Street	07-07-14 Rev. E
L-01	Landscape Plan – Lot 270 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 270 Civic Way	07-07-14 Rev. E
L-01	Landscape Plan – Lot 271 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 271 Civic Way	07-07-14 Rev. E
L-01	Landscape Plan – Lot 272 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 272 Civic Way	07-07-14 Rev. E
L-01	Landscape Plan – Lot 273 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 273 Civic Way	07-07-14 Rev. E
L-01	Landscape Plan – Lot 274 Civic Way	07-07-14 Rev. E
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L-01	Landscape Plan – Lot 275 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 275 Civic Way	07-07-14 Rev. E
L-01	Landscape Plan – Lot 276 Civic Way	07-07-14 Rev. E
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L-01	Landscape Plan – Lot 280 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 280 Civic Way	07-07-14 Rev. E
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L-02	Landscape Plan – Lot 283 Civic Way	07-07-14 Rev. E

L-01	Landscape Plan – Lot 284 Civic Way	07-07-14 Rev. E
L-02	Landscape Plan – Lot 284 Civic Way	07-07-14 Rev. E
H222 Sheet 1 of 4 Sheets	Plan of Proposed Subdivision Stage 3A	11.06.2014 Rev.a
H222 Sheet 2 of 4 Sheets	Plan of Proposed Subdivision Stage 3B	11.06.2014 Rev.a
H222 Sheet 3 of 4 Sheets	Plan of Proposed Subdivision Stage 3C	11.06.2014 Rev.a
H222 Sheet 4 of 4 Sheets	Plan of Proposed Subdivision Stage 3D	11.06.2014 Rev.a
21478 Sheet 1 of 2 Sheets	Survey Plan	23/7/2010
21478 Sheet 2 of 2 Sheets	Survey Plan	23/7/2010
21478 Sheet 1 of 1 Sheets	Survey Plan	23/7/2010
---	Perspective (Lodged with DA)	Lodged 31/03/2014
---	Perspective (Lodged with DA)	Lodged 31/03/2014
---	Plan showing Balcony for Secondary Dwelling Lot 176	Submitted 11/09/2014
---	Plan showing Balcony for Secondary Dwelling Lot 204	Submitted 11/09/2014

No work (including excavation, land fill or earth reshaping) shall be undertaken prior to the issue of the Construction Certificate, where a Construction Certificate is required.

## **2. External Finishes**

External finishes and colours shall be in accordance with the details submitted with the development application and approved with this consent.

## **3. Rouse Hill Regional Centre Planning Agreement**

Contributions for the 153 detached dwelling houses created are to be made in accordance with the provisions of the Rouse Hill Regional Centre Planning Agreement dated 29/12/2006.

## **4. Further Development Application for Park Works**

The submission of further Development Application/s, where required, for the proposed central and pocket parks.

## **5. Construction Certificate**

Prior to construction of the approved development, it is necessary to obtain a Construction Certificate. A Construction Certificate may be issued by Council or an Accredited Certifier. Plans submitted with the Construction Certificate are to be amended to incorporate the conditions of the Development Consent.

## **6. Building Work to be in Accordance with BCA**

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

## **7. Planting Requirements**

All trees planted as part of the approved landscape plan are to be minimum 75 litre pot size. All shrubs planted as part of the approved landscape plan are to be minimum 200mm pot size. Groundcovers are to be planted at 5/m<sup>2</sup>.

### **8. Approved Subdivision Plan**

The subdivision component of the development must be carried out in accordance with the approved plan of subdivision prepared by Whelans Insites Drawing H222 Sheets 1 to 4 Revision A dated 11/06/2014 except where amended by other conditions of consent.

### **9. Protection of Public Infrastructure**

Council must be notified of any damage to public infrastructure caused by the development. Adequate protection must be provided prior to work commencing and maintained during building operations. Any damage caused must be made good, to the satisfaction of Council, before an Occupation Certificate can be issued. Public infrastructure includes the road pavement, kerb and gutter, concrete footpaths, drainage structures, utilities and landscaping fronting the site.

### **10. Structures Adjacent to Piped Drainage Easements**

Buildings and structures, including footings and brick fences, adjacent to existing or proposed drainage easements must be located wholly outside the easement. A design must be provided by a structural engineer certifying that the structure will not impart a load on the pipe in the easement.

### **11. Gutter and Footpath Crossing Application**

Each driveway requires the lodgement of a separate gutter and footpath crossing application, accompanied by the applicable fee as per Council's Schedule of Fees and Charges.

### **12. Minor Engineering Works**

The design and construction of the engineering works listed below must be provided for in accordance with the following documents and requirements:

- a) Council's Design Guidelines Subdivisions/ Developments
- b) Council's Works Specifications Subdivisions/ Developments

Any variance from these documents requires separate approval from Council.

Works on existing public roads or any other land under the care and control of Council must be approved and inspected by Council in accordance with the Roads Act 1993 or the Local Government Act 1993. A separate minor engineering works application and inspection fee is payable as per Council's Schedule of Fees and Charges.

#### **i. Driveway Requirements**

The design, finish, gradient and location of all driveway crossings must comply with the above documents and Council's Driveway Specifications.

The proposed driveways must be built to Council's residential standard.

A separate driveway application fee is payable as per Council's Schedule of Fees and Charges.

#### **ii. Disused Layback/ Driveway Removal**

All disused laybacks and driveways must be removed and replaced with kerb and gutter together with the restoration and turfing of the adjoining footpath verge area.

#### **iii. Site Stormwater Drainage**

The entire site area must be graded, collected and drained by pits and pipes to a suitable point of legal discharge.

#### **iv. Inter-allotment Stormwater Drainage**

Piped inter-allotment stormwater drainage catering for the entire area of each lot must be provided. Each lot must be uniformly graded to its lowest point where a grated

surface inlet pit must be provided. All collected stormwater is to be piped to an approved constructed public drainage system.

Where OSD is required, a minimum level difference of 800mm measured between the surface level and the invert of the outlet pipe must be provided.

**v. Earthworks/ Site Regrading**

Earthworks are limited to that shown on the approved plans. Where earthworks are not shown on the approved plan the topsoil within lots must not be disturbed.

**vi. Service Conduits**

Service conduits to each of the proposed new lots, laid in strict accordance with the relevant service authority's requirements, are required. Services must be shown on the engineering drawings.

**13. Subdivision Certificate Pre-Lodgement Meeting/ Check**

Prior to the submission of a Subdivision Certificate application a draft copy of the final plan, administration sheet and Section 88B instrument (where included) must be submitted in order to establish that all conditions have been complied with.

Street addresses for the lots within this subdivision will be allocated as part of this preliminary check process, for inclusion on the administration sheet.

**14. Proposed Street Naming**

A written application for street naming must be submitted to Council for approval, along with the applicable fee as per Council's Schedule of Fees and Charges. The street names proposed must comply with requirements of the NSW Geographical Names Board and Council.

The application must nominate three suggested names per street, in order of preference, and the source of the names proposed.

**15. Street Trees**

Street trees must be provided for the public and private roads within or fronting the development site (excluding laneways) spaced between 7m and 10m apart and with a minimum of one tree per lot frontage. The location of street trees must be considerate of driveways, services, drainage pits and sight lines at intersections. The species and size of street trees must comply with the requirements of Council. Details demonstrating compliance with the above must be submitted for approval before any street trees are planted.

For public roads, a performance/ maintenance bond is required to be submitted to Council once the street trees are planted. The bond will be held for one year and may be extended if replacement street trees are required to be planted. The bond is refundable upon written application to Council. Alternatively, street trees can be planted by Council subject to payment of the applicable fee as per Council's Schedule of Fees and Charges.

**16. Recycled Water**

The subject site must be connected to Sydney Water's Rouse Hill Recycled Water Scheme, unless written evidence from Sydney Water is submitted advising that this service is not available.

**17. Road Opening Permit**

Should the subdivision/ development necessitate the installation or upgrading of utility services or any other works on Council land beyond the immediate road frontage of the development site and these works are not covered by a Construction Certificate issued by Council under this consent then a separate road opening permit must be applied for and the works inspected by Council's Maintenance Services team.

The contractor is responsible for instructing sub-contractors or service authority providers of this requirement. Contact Council's Construction Engineer if it is unclear whether a separate road opening permit is required.

### **18. Management of Construction Waste**

Any waste generated as a result of construction of the development is to be reused and recycled where possible, and any residual waste is to be disposed of at a licensed waste facility. Waste materials must be appropriately stored and secured within a designated waste area on site at all times, prior to its reuse on site or being sent off site. Building waste containers are not permitted to be placed on the public way at any time unless a separate application is approved by Council to locate a building waste container in a public place. The separation and recycling of the following waste materials is required: metals, timber, masonry products, clean waste plasterboard and mixed plastics and cardboard. This can be achieved by source separation on site, that is, a bin for metal waste, a bin for timber, a bin for bricks and so on. Alternatively, mixed waste may be stored in one or more bins and sent to a waste contractor or transfer/ sorting station that will sort the waste on their premises for recycling. Receipts of all waste/ recycling tipping must be kept on site at all times and produced in a legible form to any authorised officer of the Council who asks to see them.

### **19. Commencement of Domestic Waste Services**

The property owner or agent acting for the owner must ensure to arrange the commencement of an individual domestic waste service with Council no later than two days after occupancy and no earlier than two days prior to occupancy of a dwelling. The service is to be arranged by telephoning Council on (02) 9843 0310. All requirements of Council's waste collection service must be complied with at all times.

### **20. Provision of Domestic Waste Storage Areas**

Sufficient space must be allocated within the lot boundary of each property to store three 240 litre mobile bins (for garbage, recycling and garden organics). The location is required to ensure that bins are not visible from public or private roads and that the bins can be wheeled to the street without the need to go over steps, landscape edging or gutters or through a habitable area of the dwelling.

### **21. Zero Lot Line Dwellings – Easement Encroachment**

No element of those dwellings located on the boundary line with an adjoining lot (zero lot line dwellings) can be located within that adjoining lot. Construction tolerances should be accounted for when surveying and constructing these dwellings.

Similarly, the dwellings on the lots adjacent, being those lots burdened by an easement for repair; must be located wholly outside of the easement except where it is shown on the approved plans that the encroaching eaves/ guttering does not impede maintenance access to either dwelling and that the encroachment is no closer than 450mm to the boundary.

### **22. Acoustic assessment of certain dwellings**

Any development consent granted for dwellings opposite the Northern Tributary and Caddies Boulevard will require acoustic assessment to be submitted prior to the issue of Construction Certificates for the individual dwellings. The acoustic assessment shall demonstrate how compliance with the acoustic goals in clause 87 of the Infrastructure SEPP are to be achieved.

### **23. Sound Level Output**

The use of the premises, building services, equipment, machinery and ancillary fittings shall not give rise to "offensive noise" as defined under the provision of the Protection of the Environment Operation Act 1997. The sound level output shall not exceed 5 dB(A) above the ambient background level at the closest neighbour's boundary.

### **24. Contamination**

Any new information, which comes to light during construction works, which has the potential to alter previous conclusions about site contamination, shall be immediately notified to Council.

## **25. Stockpiles**

Stockpiles of topsoil, sand, aggregate, spoil or other material capable of being moved by water, to be stored clear of any drainage line, easement, natural watercourse, footpath, kerb or roadside.

## **26. Property Numbering for Integrated Housing**

The responsibility for property numbering is vested solely in Council.

The street addresses for these lots are as follows:-

Lot 132 = 15 Galara Street	Lot 165 = 14 Saxon Lane	Lot 198 = 3 Bascule Street
Lot 133 = 17 Galara Street	Lot 166 = 12 Saxon Lane	Lot 199 = 23 Grazier Road
Lot 134 = 19 Galara Street	Lot 167 = 10 Jimbuck Lane	Lot 200 = 21 Grazier Road
Lot 135 = 21 Galara Street	Lot 168 = 8 Jimbuck Lane	Lot 201 = 19 Grazier Road
Lot 136 = 23 Galara Street	Lot 169 = 54 Caddies Boulevard	Lot 202 = 17 Grazier Road
Lot 137 = 3 Jimbuck Lane	Lot 170 = 56 Caddies Boulevard	Lot 203 = 15 Grazier Road
Lot 138 = 8 Romney Street	Lot 171 = 58 Caddies Boulevard	Lot 204 = 74 Caddies Boulevard
Lot 139 = 6 Romney Street	Lot 172 = 60 Caddies Boulevard	Lot 205 = 76 Caddies Boulevard
Lot 140 = 4 Romney Street	Lot 173 = 62 Caddies Boulevard	Lot 206 = 78 Caddies Boulevard
Lot 141 = 2 Romney Street	Lot 174 = 64 Caddies Boulevard	Lot 207 = 80 Caddies Boulevard
Lot 142 = 25 Galara Street	Lot 175 = 66 Caddies Boulevard	Lot 208 = 82 Caddies Boulevard
Lot 143 = 27 Galara Street	Lot 176 = 68 Caddies Boulevard	Lot 209 = 84 Caddies Boulevard
Lot 144 = 29 Galara Street	Lot 177 = 17 Saxon Lane	Lot 210 = 86 Caddies Boulevard
Lot 145 = 31 Galara Street	Lot 178 = 19 Saxon Lane	Lot 211 = 88 Caddies Boulevard
Lot 146 = 33 Galara Street	Lot 179 = 21 Saxon Lane	Lot 212 = 90 Caddies Boulevard
Lot 147 = 35 Galara Street	Lot 180 = 23 Saxon Lane	Lot 213 = 92 Caddies Boulevard
Lot 148 = 37 Galara Street	Lot 181 = 27 Saxon Lane	Lot 214 = 1 <i>Yet to be named</i>
Lot 149 = 39 Galara Street	Lot 182 = 29 Saxon Lane	Lot 215 = 3 <i>Yet to be named</i>
Lot 150 = 26 Romney Street	Lot 183 = 31 Saxon Lane	Lot 216 = 5 <i>Yet to be named</i>
Lot 151 = 24 Romney Street	Lot 184 = 33 Saxon Lane	Lot 217 = 21 Bascule Street
Lot 152 = 22 Romney Street	Lot 185 = 35 Saxon Lane	Lot 218 = 19 Bascule Street
Lot 153 = 20 Romney Street	Lot 186 = 37 Saxon Lane	Lot 219 = 17 Bascule Street
Lot 154 = 18 Romney Street	Lot 187 = 39 Saxon Lane	Lot 220 = 15 Bascule Street
Lot 155 = 16 Romney Street	Lot 188 = 17 Peppin Street	Lot 221 = 13 Bascule Street
Lot 156 = 14 Romney Street	Lot 189 = 15 Peppin Street	Lot 222 = 11 Bascule Street
Lot 157 = 12 Romney Street	Lot 190 = 13 Peppin Street	Lot 223 = 9 Bascule Street
Lot 158 = 5 Jimbuck Lane	Lot 191 = 11 Peppin Street	Lot 224 = 7 Bascule Street
Lot 159 = 7 Jimbuck Lane	Lot 192 = 9 Peppin Street	Lot 225 = 5 Bascule Street
Lot 160 = 9 Jimbuck Lane	Lot 193 = 13 Romney Street	Lot 226 = 4 Bascule Street
Lot 161 = 11 Jimbuck Lane	Lot 194 = 11 Romney Street	Lot 227 = 2 Bascule Street
Lot 162 = 6 Jimbuck Lane	Lot 195 = 43 Saxon Lane	Lot 228 = 29 Grazier Road
Lot 163 = 7 Romney Street	Lot 196 = 41 Saxon Lane	Lot 229 = 31 Grazier Road
Lot 164 = 16 Saxon Lane	Lot 197 = 1 Bascule Street	Lot 230 = 33 Grazier Road
Lot 231 = 21 Peppin Street	Lot 249 = 5 Bond Street	Lot 267 = 6 Peppin Street
Lot 232 = 23 Peppin Street	Lot 250 = 3 Bond Street	Lot 268 = 1 Civic Way

Lot 233 = 6 Bascule Street	Lot 251 = 1 Bond Street	Lot 269 = 3 Civic Way
Lot 234 = 8 Bascule Street	Lot 252 = 34 Peppin Street	Lot 270 = 5 Civic Way
Lot 235 = 10 Bascule Street	Lot 253 = 36 Peppin Street	Lot 271 = 7 Civic Way
Lot 236 = 12 Bascule Street	Lot 254 = 38 Peppin Street	Lot 272 = 9 Civic Way
Lot 237 = 14 Bascule Street	Lot 255 = 30 Peppin Street	Lot 273 = 11 Civic Way
Lot 238 = 16 Bascule Street	Lot 256 = 28 Peppin Street	Lot 274 = 13 Civic Way
Lot 239 = 18 Bascule Street	Lot 257 = 26 Peppin Street	Lot 275 = 15 Civic Way
Lot 240 = 20 Bascule Street	Lot 258 = 24 Peppin Street	Lot 276 = 17 Civic Way
Lot 241 = 42 Peppin Street	Lot 259 = 22 Peppin Street	Lot 277 = 19 Civic Way
Lot 242 = 40 Peppin Street	Lot 260 = 20 Peppin Street	Lot 278 = 21 Civic Way
Lot 243 = 3 <i>Yet to be named</i>	Lot 261 = 18 Peppin Street	Lot 279 = 23 Civic Way
Lot 244 = 41 Civic Way	Lot 262 = 16 Peppin Street	Lot 280 = 25 Civic Way
Lot 245 = 39 Civic Way	Lot 263 = 14 Peppin Street	Lot 281 = 27 Civic Way
Lot 246 = 37 Civic Way	Lot 264 = 12 Peppin Street	Lot 282 = 29 Civic Way
Lot 247 = 35 Civic Way	Lot 265 = 10 Peppin Street	Lot 283 = 31 Civic Way
Lot 248 = 7 Bond Street	Lot 266 = 8 Peppin Street	Lot 284 = 33 Civic Way

## **PRIOR TO THE ISSUE OF CONSTRUCTION CERTIFICATE**

### **27. Privacy Measures for Windows**

Second and third storey habitable room windows within 4.5 metres of a side boundary, within 5 metres of a rear boundary of a 25 metre deep lot or within 7 metres of a rear boundary of a 30 metre lot are to have permanent privacy measures. Acceptable privacy measures include landscaping, alternative window arrangements, external louvers, 1.5 metre sill height or fixed and obscured glass to 1.5 metres with clear and/or operable glass over. Details are to be provided the Private Certifying Authority prior to issue of the Construction Certificate.

### **28. Balconies for Lots 176 and 204**

Balconies are to be provided for the secondary dwellings for Lots 176 and 204, as shown on the approved plans. Details are to be provided prior to issue of the Construction Certificate.

### **29. Approved Plans to be Submitted to Sydney Water**

The approved plans must be submitted to a Sydney Water Quick Check agent to determine whether the development will affect any Sydney Water wastewater and water mains, stormwater drains and/or easement, and if any requirements need to be met. Plans will be appropriately stamped.

Please refer to the web site [www.sydneywater.com.au](http://www.sydneywater.com.au) for:

- Quick Check agents details – See building and Developing then Quick Check and
- Guidelines for Building Over/Adjacent to /Sydney Water Assets – see Building and Developing then Building and Renovating.

### **30. Security Bond – Road Pavement and Public Asset Protection**

In accordance with Section 80A(6)(a) of the Environmental Planning and Assessment Act 1979, a security bond of \$187,850.00 is required to be submitted to Council to guarantee the protection of the road pavement and other public assets in the vicinity of the site during construction works. The above amount is calculated at the rate of \$85.00 per square metre based on the road frontage of the subject site (340m) multiplied by the width of the northbound road carriageway in Caddies Boulevard (6.5m).

The bond must be lodged with Council before a Construction Certificate is issued.

The bond is refundable upon written application to Council and is subject to all work being restored to Council's satisfaction. Should the cost of restoring any damage exceed the value of the bond, Council will undertake the works and issue an invoice for the recovery of these costs.

### **31. Bank Guarantee Requirements**

Any bank guarantee submitted in lieu of a cash bond must comply with the following:

- a) Have no expiry date;
- b) Be sent to Council direct from the bank;
- c) Reference the development application, condition and matter to which it relates;
- d) The amount must match that required to be paid;
- e) If a single bank guarantee is used for multiple bonds, it must be itemised.

Should Council need to uplift the bank guarantee, notice in writing will be forwarded to the applicant 14 days beforehand.

### **32. Erosion & Sediment Control Plan**

Submission of an Erosion and Sediment Control Plan to the Principal Certifying Authority, including details of:

- a) Allotment boundaries
  - b) Location of the adjoining roads
  - c) Contours
  - d) Existing vegetation
  - e) Existing site drainage
  - f) Critical natural areas
  - g) Location of stockpiles
  - h) Erosion control practices
  - i) Sediment control practices
  - j) Outline of a maintenance program for the erosion and sediment controls
- (NOTE: For guidance on the preparation of the Plan refer to 'Managing Urban Stormwater Soils & Construction' produced by the NSW Department of Housing).

### **33. Construction Management Plan (Staged Applications)**

A construction management plan must be submitted demonstrating how the potential for conflict between resident and construction traffic is to be minimised and managed throughout all stages of the development. The construction management plan must be submitted before a Construction Certificate is issued and complied with for the duration of works.

## **PRIOR TO WORK COMMENCING ON THE SITE**

### **34. Principal Certifying Authority**

A sign is to be erected in accordance with Clause 98 A (2) of the Environmental Planning and Assessment Regulations 2000.

### **35. Builder and PCA Details Required**

Notification in writing of the builder's name, address, telephone and fax numbers to be submitted to the Principal Certifying Authority prior to work commencing.

Two days before work commences, Council shall be notified of the Principal Certifying Authority in accordance with the Regulations.

### **36. Management of Building Sites – Builder's Details**

The erection of suitable fencing or other measures to restrict public access to the site and building works, materials or equipment when the building work is not in progress or the site is otherwise unoccupied.



The erection of a sign, in a prominent position, stating that unauthorised entry to the site is not permitted and giving an after hours contact name and telephone number. In the case of a privately certified development, the name and contact number of the Principal Certifying Authority.

### **37. Consultation with Service Authorities**

Applicants are advised to consult with Telstra, NBN Co and Australia Post regarding the installation of telephone conduits, broadband connections and letterboxes as required.

Unimpeded access must be available to the electricity supply authority, during and after building, to the electricity meters and metering equipment.

The building plans must be submitted to the appropriate Sydney Water office to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements. If the development complies with Sydney Water's requirements, the building plans will be stamped indicating that no further requirements are necessary.

### **38. Public Infrastructure Inventory Report**

A public infrastructure inventory report must be prepared and submitted to Council recording the condition of all public assets in the direct vicinity of the development site. This includes, but is not limited to, the road fronting the site along with any access route used by heavy vehicles. If uncertainty exists with respect to the necessary scope of this report, it must be clarified with Council before works commence. The report must include:

- a) Planned construction access and delivery routes; and
- b) Dated photographic evidence of the condition of all public assets.

### **39. Approved Temporary Closet**

An approved temporary closet connected to the sewers of Sydney Water, or alternatively an approved chemical closet is to be provided on the land, prior to building operations being commenced.

### **40. Erosion and Sedimentation Controls**

Erosion and sedimentation controls shall be in place prior to the commencement of site works; and maintained throughout construction activities until the site is landscaped and/or suitably revegetated. The controls shall be in accordance with the details approved by Council and/or as directed by Council Officers. These requirements shall be in accordance with Managing Urban Stormwater – Soils and Construction produced by the NSW Department of Housing (Blue Book).

### **41. Stabilised Access Point**

A stabilised all weather access point is to be provided prior to commencement of site works, and maintained throughout construction activities until the site is stabilised. The controls shall be in accordance with the requirements with the details approved by Council and/or as directed by Council Officers. These requirements shall be in accordance with Managing Urban Stormwater – Soils and Construction produced by the NSW Department of Housing (Blue Book).

### **42. Traffic Control Plan**

A Traffic Control Plan is required to be prepared and submitted to Council for approval. The person preparing the plan must have the relevant accreditation to do so. Where amendments to the plan are required post approval, they must be submitted to Council for further approval prior to being implemented.

A plan that includes full (detour) or partial (temporary traffic signals) width road closure requires separate specific approval from Council. Sufficient time should be allowed for this to occur.

#### **43. Sediment and Erosion Control**

The approved sediment and erosion control measures, including a stabilised all weather access point, must be in place prior to works commencing and maintained during construction and until the site is stabilised to ensure their effectiveness. For major works, these measures must be maintained for a minimum period of six months following the completion of all works.

#### **44. Service Authority Consultation – Subdivision Works**

Before subdivision works commence:

- a) Documentary evidence must be submitted confirming that satisfactory arrangements have been made for the relocation, undergrounding and/ or provision of electrical services for the non-residue lots created by the subdivision.
- b) Documentary evidence, including a notice of requirements from Sydney Water, must be submitted confirming that satisfactory arrangements have been made for the provision of water and sewerage facilities.
- c) Consultation with the relevant telecommunications provider authorised under the Telecommunications Act regarding the installation of telephone conduits is required. The design and construction of these works must comply with current NBN standards, where applicable.

#### **45. Erosion & Sediment Control Plan Kept on Site**

A copy of the Erosion and Sediment Control Plan must be kept on site at all times during construction and made available to Council officers on request.

#### **46. Resubmit Waste Management Plan**

Prior to works commencing on site, the Waste Management Plan submitted as part of the Development Application and dated 31 March 2014 must be resubmitted to and approved by Council. The plan is required to readdress the following:

Company name of the skip bin hire company or waste transport contractor/s; and

Location of waste disposal and recycling.

All commitments of the approved plan must be implemented during construction of the development. However, the information provided can change provided that the same or a greater level of reuse and recycling is achieved as detailed in the plan. Any material moved offsite is to be transported in accordance with the requirements of the Protection of the Environment Operations Act 1997 and only to a place that can lawfully be used as a waste facility. Receipts of all waste/ recycling tipping must be kept on site at all times and produced in a legible form to any authorised officer of the Council who asks to see them.

### **DURING CONSTRUCTION**

#### **47. Hours of Work**

Work on the project to be limited to the following hours: -

**Monday to Saturday - 7.00am to 5.00pm;**

No work to be carried out on Sunday or Public Holidays.

The builder/contractor shall be responsible to instruct and control sub-contractors regarding the hours of work. Council will exercise its powers under the Protection of the Environment Operations Act, in the event that the building operations cause noise to emanate from the property on Sunday or Public Holidays or otherwise than between the hours detailed above.

#### **48. Survey Report**

Survey Certificate to be submitted to the Principal Certifying Authority at footings and/or formwork stage. The certificate shall indicate the location of the building in relation to all

boundaries, and shall confirm the floor level prior to any work proceeding on the building.

#### **49. Compliance with BASIX Certificate**

Under clause 97A of the Environmental Planning and Assessment Regulation 2000, it is a condition of this Development Consent that all commitments listed in the submitted BASIX Certificates be complied with. Any subsequent version of the BASIX Certificate will supersede all previous versions of the certificate.

A Section 96 Application **may** be required should the subsequent version of this BASIX Certificate necessitate design changes to the development. However, a Section 96 Application **will** be required for a BASIX Certificate with a new number.

#### **50. Roof Water Drainage**

Gutter and downpipes to be provided and connected to an approved drainage system upon installation of the roof covering.

#### **51. Compliance with Critical Stage Inspections and Other Inspections Nominated by the Principal Certifying Authority**

Section 109E(d) of the Act requires certain specific inspections (prescribed by Clause 162A of the Regulations) and known as "Critical Stage Inspections" to be carried out for building work. Prior to permitting commencement of the work, your Principal Certifying Authority is required to give notice of these inspections pursuant to Clause 103A of the Regulations.

N.B. An Occupation Certificate cannot be issued and the building may not be able to be used or occupied where any mandatory critical stage inspections or other inspections required by the Principal Certifying Authority are not carried out.

Where Council is nominated as Principal Certifying Authority, notification of all inspections required is provided with the Construction Certificate approval.

**NOTE: You are advised that inspections may only be carried out by the PCA unless by prior agreement of the PCA and subject to that person being an accredited certifier.**

#### **52. Standard of Works**

All work must be carried out in accordance with Council's Works Specification Subdivisions/ Developments and must include any necessary works required to make the construction effective. All works, including public utility relocation, must incur no cost to Council.

#### **53. Critical Stage Inspections – Subdivision Works**

The subdivision works must be inspected by Council in accordance with the schedule included in Council's Works Specification Subdivisions/ Developments. A minimum of 24 hour's notice is required for inspections. No works are to commence until the first inspection has been carried out.

#### **54. Dust Control**

The emission of dust must be controlled to minimise nuisance to the occupants of the surrounding premises. In the absence of any alternative measures, the following measures must be taken to control the emission of dust:

- Dust screens must be erected around the perimeter of the site and be kept in good repair for the duration of the construction work.
- All dusty surfaces must be wet down and suppressed by means of a fine water spray. Water used for dust suppression must not cause water pollution; and
- All stockpiles of materials that are likely to generate dust must be kept damp or covered.

### **55. Construction Noise**

The emission of noise from the construction of the development shall comply with the *Interim Construction Noise Guideline* published by the Department of Environment and Climate Change (July 2009).

### **56. Confirmation of Compliance with Zero Lot Line**

Prior to the installation of the external roof tiles or sheeting, written advice from a registered surveyor must be provided to the Principal Certifying Authority confirming that the constructed guttering and fascia to the wall for each property using a zero lot line, is located wholly within the property boundary.

### **57. Location of Dwelling**

The dwellings on lots burdened by an easement for repair in response to an adjacent zero lot line dwelling must be located wholly outside of the easement except where Council has permitted an encroachment (limited to eaves/ guttering). This includes all services, equipment and utilities.

## **PRIOR TO ISSUE OF AN OCCUPATION AND/OR SUBDIVISION CERTIFICATE**

### **58. Landscaping Prior to Issue of Occupation Certificate**

The landscaping of the site shall be carried out prior to issue of the Final Occupation Certificate (within each stage if applicable) in accordance with the approved plan. All landscaping is to be maintained at all times in accordance with BHDCP Part D, Section 3 – Landscaping and the approved landscape plan.

### **59. Works as Executed Plans**

Works as executed (WAE) plans prepared by a suitably qualified engineer or registered surveyor must be submitted to Council when the subdivision works are completed. The WAE plans must be prepared in accordance with Council's Design Guidelines Subdivisions/ Developments.

The plans must be accompanied by pavement density results, pavement certification, concrete core test results, site fill results, structural certification, CCTV recording, signage details and a public asset creation summary, where relevant.

### **60. Completion of Engineering Works**

An Occupation Certificate must not be issued prior to the completion of all engineering works covered by this consent, in accordance with this consent.

### **61. Public Infrastructure Inventory Report - Post Construction**

Before an Occupation Certificate is issued, an updated public infrastructure inventory report must be prepared and submitted to Council. The updated report must identify any damage to public assets and the means of rectification for the approval of Council.

### **62. Completion of Subdivision Works**

A Subdivision Certificate cannot be issued prior to the completion of all subdivision works covered by this consent.

### **63. Confirmation of Pipe Locations**

A letter from a registered surveyor must be provided with the WAE plans certifying that all pipes and drainage structures are located within the proposed drainage easements.

### **64. Section 73 Compliance Certificate**

A Section 73 Compliance Certificate issued under the Sydney Water Act 1994 must be obtained from Sydney Water confirming satisfactory arrangements have been made for the provision of water and sewer services. Application must be made through an authorised Water Servicing Coordinator. The certificate must refer to this development consent and all of the lots created.

Sydney Water's guidelines provide for assumed concurrence for the strata subdivision of a development approved by an earlier consent covered by a compliance certificate.

#### **65. Provision of Electrical Services**

Submission of a notification of arrangement certificate confirming satisfactory arrangements have been made for the provision of electrical services. This must include the under-grounding of the existing electrical services fronting the site and removal of all redundant poles and cables, unless otherwise approved by Council in writing. The certificate must refer to this development consent and all of the lots created.

#### **66. Building Adjacent to Proposed Boundary**

Where any part of an existing/ partially constructed building is located within 2m of a proposed boundary the location of such must be determined by a registered surveyor and shown on the final plan.

#### **67. Building Services**

A letter from a registered surveyor must be submitted certifying that all facilities servicing the existing/ partially constructed buildings are located wholly within their respective lot or are otherwise contained within a suitable easement.

#### **68. Prior or Concurrent Registration of Preceding Subdivision**

A Subdivision Certificate cannot be issued for this subdivision before the preceding stage/ subdivision pursuant to Development Consent DA 250/2013/ZB has been registered, unless the two are registered concurrently.

#### **69. Provision of Telecommunication Services**

Submission of a telecommunications infrastructure provisioning confirmation certificate issued by the relevant telecommunications provider authorised under the Telecommunications Act, or a design compliance certificate and an as-built compliance certificate from the company engaged to design and construct the pit and pipe infrastructure, confirming satisfactory arrangements have been made for the provision, or relocation, of telecommunication services including telecommunications cables and associated infrastructure. This must include the under-grounding of the existing telecommunication services fronting the site and removal of all redundant poles and cables, unless otherwise approved by Council in writing. The certificate must refer to this development consent and all of the lots created.

#### **70. Final Plan and 88B Instrument**

The final plan and Section 88B Instrument must provide for the following. Council's standard recitals must be used.

##### **i. Easement – Private Stormwater Drainage**

Inter-allotment drainage easements must be created to ensure each and every lot is provided with a legal point of discharge. Easement widths must comply with Council's Design Guidelines Subdivisions/ Developments.

##### **ii. Easement – Right of Access/ Easement for Services**

A right of access/ easement for services must be created over the access handle of proposed lots 174 to 176 and 201 to 203.

##### **iii. Positive Covenant – Maintenance/ Repair of Shared Driveway**

A positive covenant must be placed on the title of proposed lots 174 to 176 and 201 to 203 to ensure the maintenance/ repair of the shared driveway using the "maintenance/ repair of shared access" terms included in the standard recitals.

##### **iv. Easement – Repairs/ Zero Lot Line Dwellings**

A 900mm wide (minimum) easement for repairs is required over those lots adjacent to the zero-lot line dwellings identified on the approved plan using the "zero lot line dwellings" terms included in the standard recitals.

##### **v. Restriction – Earthworks**

All residential lots must be burdened with a restriction using the "earthworks" terms included in the standard recitals.

**vi. Restriction – Restricted Access**

Lots 132, 141, 169 to 176 and 203 to 214 must be burdened with a restriction precluding access to Caddies Boulevard using the "restricted access" terms included in the standard recitals.

**vii. Restriction – Bedroom Numbers**

All lots that contain a new dwelling home/ attached dwelling must be burdened with a restriction using the "bedroom numbers" terms included in the standard recitals.

**viii. Restriction – Salinity**

All residential lots must be burdened with a restriction that refers to the salinity report submitted with the development application using the "salinity requirements" terms included in the standard recitals.

**ix. Positive Covenant – Waste Collection/ Bin Presentation**

For those lots that do not present their bins to their lot frontage for collection, as shown on the waste collection location plan Ref SKC530 dated 19 May 2014 prepared by Hyder must be burdened with a positive covenant requiring that bins are presented to the collection location shown on that plan, using the "waste collection/ bin presentation" terms included in the standard recitals.

**71. Subdivision Certificate Application**

When submitted, the Subdivision Certificate application must include:

- a) Three copies of the final plan.
- b) The original administration sheet and Section 88B instrument, along with one copy of each.
- c) All certificates and supplementary information required by this consent.
- d) An AutoCAD copy of final plan (GDA 1994 MGA94 Zone56).

**72. Site/Lot Classification Report**

A site/lot classification report prepared by a suitably qualified geotechnical engineer must be prepared and submitted following the completion of all subdivision works confirming that all residential lots are compliant with AS 2870 and are suitable for development. The report must be accompanied by a table which summarises the classification of all lots created as part of the subdivision.

**73. Resubmit Waste Collection Plan**

Prior to an Occupation Certificate being issued, the plan entitled Stage 3 Waste Collection Locations (drawing no. SKC530) and dated 19 May 2014 must be resubmitted to and approved by Council. The plan is required to clearly indicate which collection point is for which lot.

**THE USE OF THE SITE**

**74. Waste and Recycling Collection**

The collection of waste and recyclables from the development is required to be undertaken in accordance with the approved plan entitled Stage 3 Waste Collection Locations (drawing no. SKC530) and dated 19 May 2014, unless otherwise determined by Council. Bin presentation will not be permitted within common driveways or to the right hand side of one way laneways.

**NOTE:** A copy of the plan must be made available to all future residents to ensure they are informed of the waste collection arrangements.

## **ATTACHMENTS**

1. Locality Plan
2. Aerial Photograph
3. Site Plan
4. Typical Elevations
5. Typical Streetscape Elevations
6. Mungerie House 70m Curtilage
7. Perspective
8. Perspective

## **ATTACHMENT 1 – LOCALITY PLAN**









## ATTACHMENT 3 – SITE PLAN



## ATTACHMENT 4 – TYPICAL ELEVATIONS



**FRONT ELEVATION 1:100**  
TYPE A – FACADE A

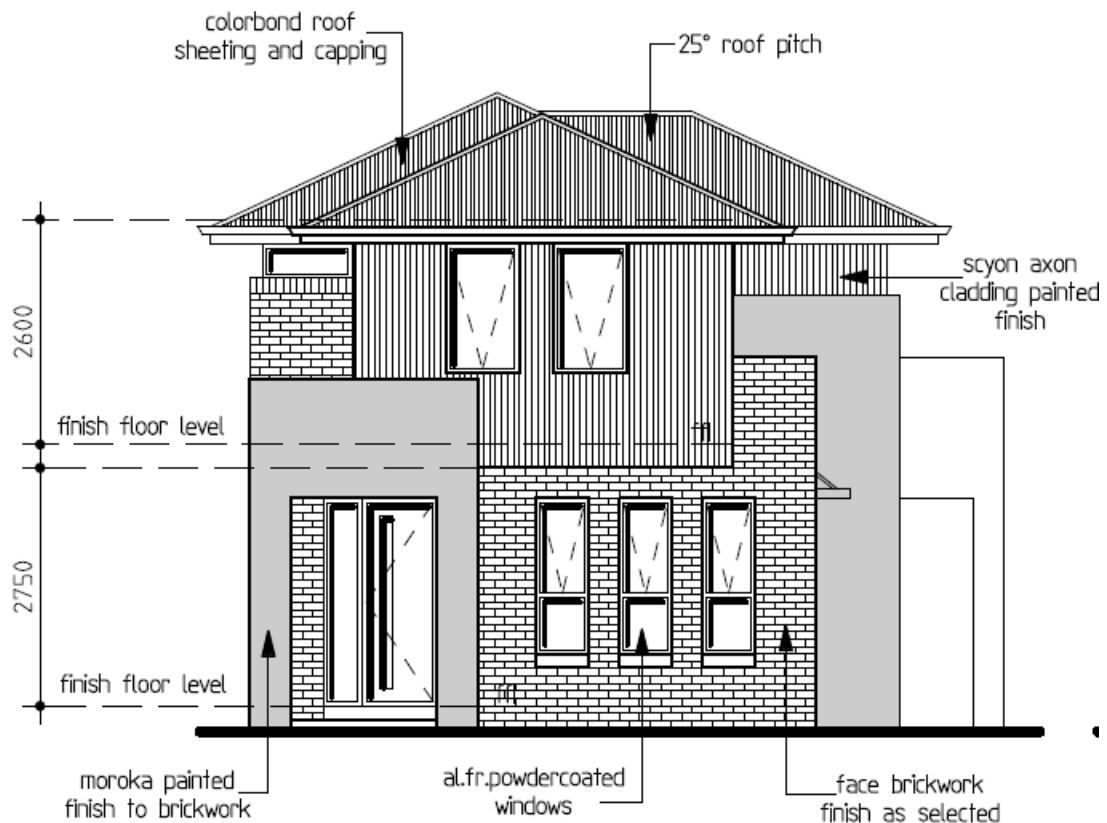


**FRONT ELEVATION 1:100**  
TYPE B – FACADE A

## ATTACHMENT 4 – TYPICAL ELEVATIONS



**FRONT ELEVATION 1:100**  
TYPE C – FACADE A



**FRONT ELEVATION 1:100**  
TYPE E / FACADE A

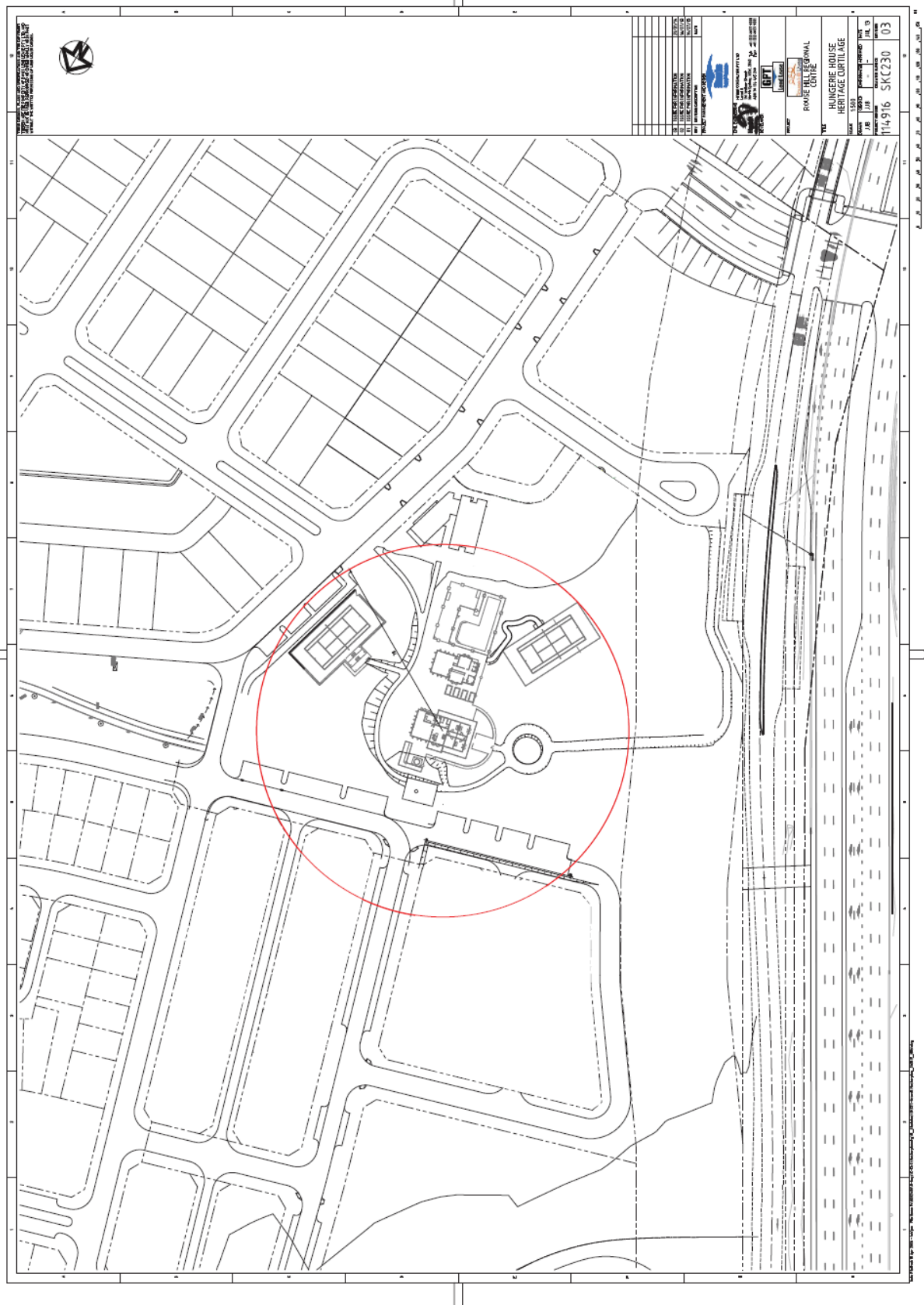
## ATTACHMENT 5 –TYPICAL STREETSCAPE ELEVATIONS



## ATTACHMENT 5 –TYPICAL STREETSCAPE ELEVATIONS



## ATTACHMENT 6 – MUNGERIE HOUSE 70M CURTILAGE





## ATTACHMENT 7 – PERSPECTIVE





## ATTACHMENT 8 – PERSPECTIVE

